

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Dilapidation Building Report

24/1/2023

Client: SAMPLE REPORT

Property: john street SAMPLE

Inspected:

Report Number: 857809A

REQUESTED INSPECTION

Sydney Building Consultants was commissioned by to carry out a building dilapidation report on the above property. The purpose of this inspection is to provide a report on the current condition of the property prior to construction commencing on number **SAMPLE**

BUILDING DESCRIPTION

The property inspected is an semi attached dwelling on one side
The dilapidation report has been commissioned prior to any demolition and construction works on number **SAMPLE rear location**.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c

EXECUTIVE SUMMARY

Access was provided to the properties by the owners.

The buildings are typical of properties built in the same era, however has been noted as renovated.

The aim of the inspection is to assess the condition of the buildings prior to construction of the rear garage.

DETAILS OF INSPECTION

Weather Conditions at the time of the inspection: Dry

SPECIAL CONDITIONS Na

Recent Weather Conditions: dry

The areas inspected were: interior and exterior where accessible.

Areas not inspected: interior of both adjoining buildings.

PERSONS IN ATTENDANCE

Home owners

NOTABLE ITEMS

For the purpose of this report the street frontage is referred to as the front of the property.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:43

SAMPLE

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:44

Figure 1 frontage foot path view.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:44

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Figure 2 right hand side view of 118.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:44

Figure 3 116 was inspected only at the frontage location no access was granted internally by the home owner.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:44

Figure 4 dividing wall between number 116 and 118.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Figure 5 view from number 120.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:46

Figure 6 rear of the neighbouring number 120.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneymbuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:46

Figure 7 impact damage observed to the garage of number 120.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Figure 8 existing impact damage to number 120 garage location, I note asbestos was evident on the floor dividing the two garages.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:46

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:46

Figure 9 view from the rear of number 120 to the front street showing a brick pathway and concrete Paththway area.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:46

Figure 10 exterior front of the garage at number 120.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Figure 11 the interior dividing wall located between 116 and 118 was visually accessed by the home owner.

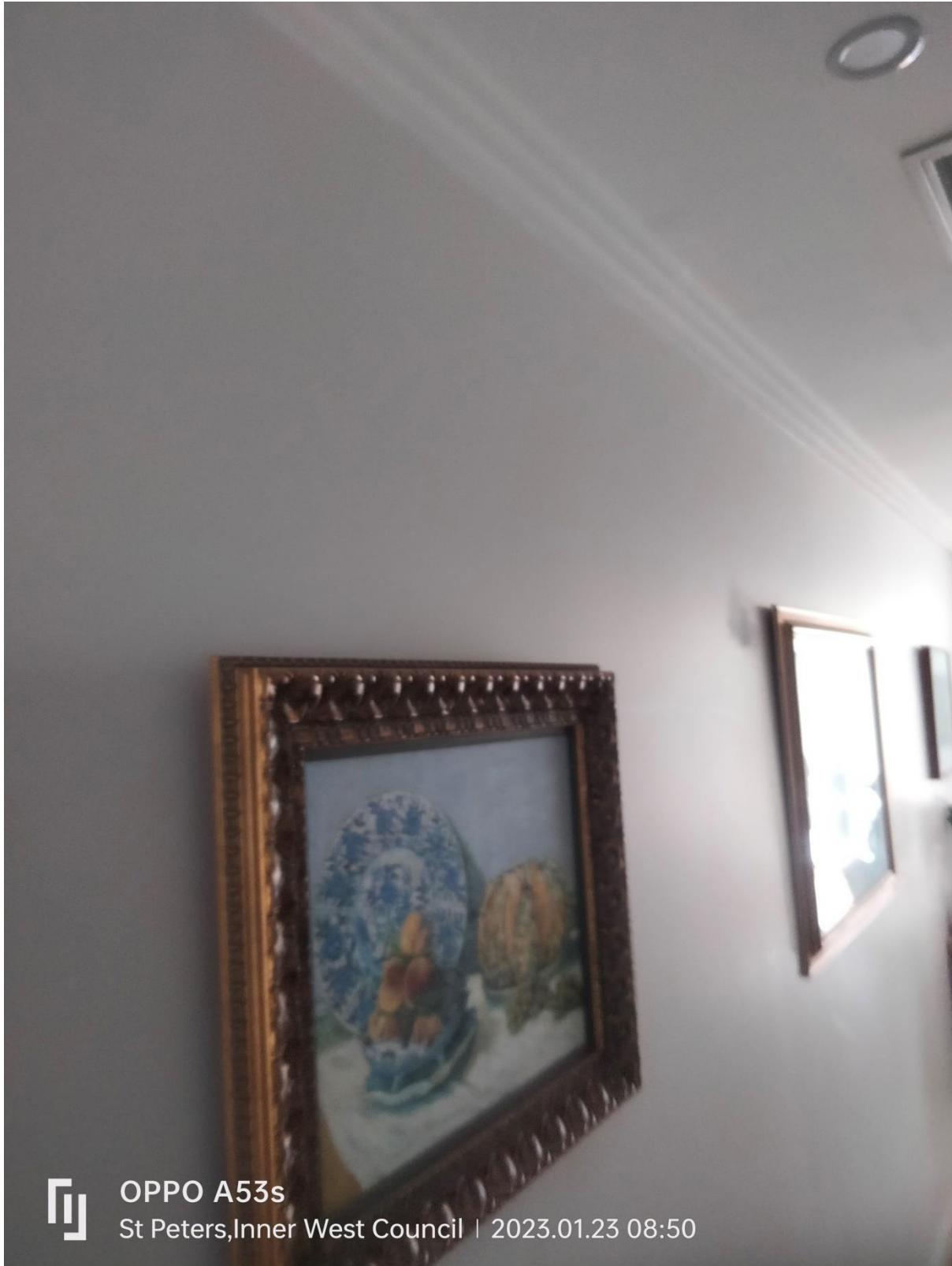
Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Figure 12 the rear of 116 and number 118 adjoining pier was photographed.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:50

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Figure 13 the dividing metal fence between 118 and 116 rear view.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:51

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:51

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:51

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:51

Figure 14 the rear road had filled in location with existing damage to the road behind number 118 where the garage is to be demolished and built.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:52

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Figure 15 rear dividing fence picture taken between number 116 and 118 rear.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Figure 16 rear of number 116.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:53

Figure 17 rear view taken from 116 dividing fence with number 118.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.25 08:54

Figure 18 rear metal gate of 116 has metal gate damage observed.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT



SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



OPPO A53s

St Peters, Inner West Council | 2023.01.23 08:54

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c



Conclusion

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c

Conditions

Dilapidation inspection and report .As requested by the Client, the inspection carried out by the Building Inspection Consultant ("the Consultant") was a "Dilapidation Inspection Report". A Pre-Inspection Agreement was issued for this service and forms part of the service agreement.

PURPOSE The purpose of this inspection is to provide advice to the client or other interested party regarding the condition of the property at the time of inspection. It serves as a baseline for comparison prior to planned construction or civil engineering works in areas adjoining or near to the property inspected. **SCOPE OF INSPECTION** The inspection shall comprise visual assessment of the property and limited assessment of serviceability to identify major defects, urgent and serious safety hazards and to document the condition of the property at the time of inspection. An estimate of the costs of rectification of defects is not required in an inspection report. The inspection was limited to Readily Accessible Areas of the Building and Site. The Client shall arrange right of entry, facilitate physical entry and supply necessary information to enable the inspector to undertake the inspection and prepare a report. The Inspector is not responsible for arranging entry to property or parts of the property, where reasonable access or entry is denied those areas are excluded from and do not form part of the inspection. Should re-inspection be required after the completion of construction works you should separately re-engage the Consultant

ACCEPTANCE CRITERIA unless noted in "Special Conditions or Instructions", the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted practice at the time of construction and which has been maintained such that there is no significant loss of strength and serviceability. A report may be conditional on the following: Information provided by the person, the employees or agents of the person requesting the report. (b) Apparent concealment of possible defects. (c) Any other factor limiting the preparation of the report.

EXTENT OF REPORTING Significant items to be reported are as follows: (a) Major defects. (b) A documentation of the extent of minor defects. (c) Any major defect that is an urgent and serious safety hazard.

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT

www.sydneybuildingconsultant.com.au Builders licence 223550c

LIMITATIONS The Client acknowledges: 1. That this Report is prepared in accordance with AS 4349-2007 but that it is not a Certificate of Compliance of the property within the requirements of any Act, regulation,

IMPORTANT INFORMATION

Limitations 1

EXCLUSIONS This report excludes assessment of: Footings below ground, concealed damp proof course, electrical installations, concealed plumbing, adequacy of roof drainage, gas fittings and fixtures, air-conditioning, automatic garage doors, pools and related equipment, alarm systems, operation of fireplaces and chimneys, flues and solid fuel heaters, alarm and intercom systems, soft floor coverings, appliances, paint coating, health hazards, timber and metal framing size and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment such as soil conditions, control joints, sustainable development provisions, concealed timber frames, landscaping, rubbish, floor coverings, furniture and accessories, stored items, insulation, environmental matters or lighting and energy efficiency. **IMPORTANT SAFETY**

INFORMATION - SMOKE DETECTORS We cannot comment on smoke detector installation and testing as it is not within the scope of this report and requires specialist inspection services. It is however strongly recommended that all existing detectors in the property be tested prior to occupation and advice be sought as to the suitability of their number, placement and operation.

IMPORTANT SAFETY INFORMATION - ASBESTOS We cannot comment on the presence or absence of Asbestos from this building as it is not within the scope of this report and requires specialist inspection services. It is however strongly advised that the presence of Asbestos be presumed until otherwise definitely known. Asbestos containing materials may include sheet type building materials, roofing materials, insulations and linings and more. Especially in buildings that were built or modified pre-1992 further inspection should be undertaken prior to works like renovations, extensions, repairs and maintenance or where any materials which could contain Asbestos become damaged or worn. An Asbestos Inspection And Condition Audit is always advised.

Definitions to help you better understand this report **IMPORTANT SAFETY INFORMATION - SAFETY GLASS** Glazing standards in contemporary or recently constructed buildings are governed by the Building Code of Australia (National Construction Code) and will almost always be constructed using glazing designed to minimise injury if impacted or broken. Glazing in older homes is highly unlikely to be 'Safety Glass' and may cause significant injury if damaged. Exercise care and caution around glass in older homes in particular. This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. If the Client has any doubt about the purpose, scope and acceptance criteria on which

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



CONSULTANT

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c

this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report. Privacy Policy: We value your personal information, we will ensure it is secure and never share or sell your personal details and contact information. We do however use data collected during inspections for research, commercial, training and educational purposes.

Limitations 2

THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector **CANNOT** see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector **DID NOT** dig, gouge, force or perform any other invasive procedures. Visible timbers **CANNOT** be destructively probed or hit without the written permission of the property owner.

- 1) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB: Such matters may upon request be covered under the terms of a Special-purpose Property Report.)**

2) What is a dilapidation report used for in construction?

Because construction and site works require a lot of heavy machinery, equipment, workers and moving pieces, there is often damage inflicted to the surrounding property or properties. Some of this damage is temporary in nature, while some of it is inevitable wear and tear. But it's incredibly important for all parties - prior and during construction - to understand, document and agree upon the current state of buildings, surrounding

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED



SAFETY

CONSULTANT www.sydneybuildingconsultant.com.au Builders licence 223550c

infrastructure and other assets which might be affected during construction works.

A dilapidation report is a report which highlights the existing condition of a property at a given point of time. It documents the existing damage of that property or infrastructure, and the state of any aspects of that property which might be affected by the construction work, excavation or demolition which is set to take place.

Dilapidation reports are typically documented prior to construction commencing in order to get a pre-work snapshot, as well as after the project, to summarise the post-construction condition of the asset, even if there were no complaints or obvious damages caused during the construction phase.

This helps to create a full and provable record of the unforeseen or unintentional impact that works had on surrounding buildings and infrastructure.

Why are dilapidation reports important?

Dilapidation reports are incredibly important for construction projects, construction companies and other stakeholders involved in construction works because they serve as the single source of proof for the peripheral damage (or lack thereof) occurring as a result of construction works.

Construction sites are often big areas, and they are often in heavily built-up areas or areas where a number of people travel, move and live. In the chaos of a construction site, it's easy for a truck to reverse into a building or for a pack of bricks to chip the next door neighbour's letter box.

It's also easy for a local resident to claim that his letterbox 'wasn't chipped like this' a few weeks after construction have begun - even if it was.

This concludes the dilapidation report.

Joseph Alexander Ovidi JP NSW 29/05/2022

Diploma in Building

Building Consultant

Builder lic 84058s

Sydney Building Consultants

DILAPIDATION REPORT PO BOX 3377, Wareemba, NSW. 2046 Mob: 0498 531 827 QUALIFIED

CONSULTANT 

SAFETY

www.sydneybuildingconsultant.com.au Builders licence 223550c